



CONSTRUCTION DOCUMENT DRAWINGS FOR MARSHALL UNIVERSITY RESHARD CENTER CENTER SOUTH ROOF REPAIR/REPLACEMENT HUNTINGTON, WV

FEBRUARY 24, 2023

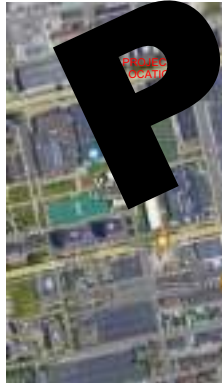


SHEET INDEX	
D1.00	COVER SHEET
D1.01	ROOF PLAN - DEMO
A1.01	ROOF PLAN - PROPOSED
A1.02	ROOF DETAILS

PROJECT INFORMATION

PROJECT NUMBER: T60-11058

VICINITY MAP



PROJECT DESCRIPTION:
 DESCRIPTION: REPAIR/REPLACE EXISTING ROOF SYSTEM
 OCCUPANCY TYPE: II
 OCCUPANCY GROUP: ASSEMBLY
 TOTAL OCCUPANCY AREA: 5,580 SQ. FT.

OWNER INFORMATION

MARSHALL UNIVERSITY
 300 ASSOCIATION DRIVE
 CHARLESTON, WV 25311
 PHONE: 304.696.6022
 EMAIL: MOREHOU1@MARSHALL.EDU

PROJECT ARCHITECT

THRASHER GROUP, INC.
 304.343.7601
 @THETHRASHERGROUP.COM

ARCHITECTURE

ANDREA L. BAISDEN
 ABAISDEN@THETHRASHERGROUP.COM
 304.343.7601

Set # _____

- FOR AGENCY REVIEW DATE: _____ BY: _____
- FOR BIDDING DATE: _____ BY: _____
- FOR CONSTRUCTION DATE: _____ BY: _____

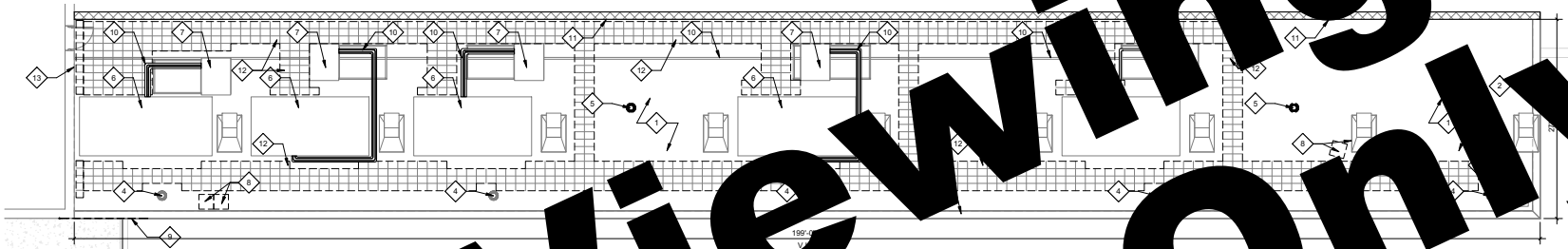
PRELIMINARY	NO.	REV.	DATE	DESCRIPTION

MARSHALL UNIVERSITY HENDERSON CENTER SOUTH ROOF REPLACEMENT
 MARSHALL UNIVERSITY
 HUNTINGTON, WV
 FEBRUARY 24, 2023
 CONSTRUCTION DOCUMENTS

DRAWN: AJS DATE: 02/04/23
 CHECKED: AJC DATE: 02/04/23
 APPROVED: AIC DATE: 02/04/23
 PROJECT NO.: 190-11058

ROOF PLAN - DEMOLITION
 SHEET NO. **D1.01**

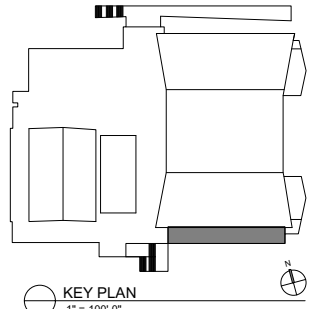
For Viewing Only Purposes Only Not to Scale

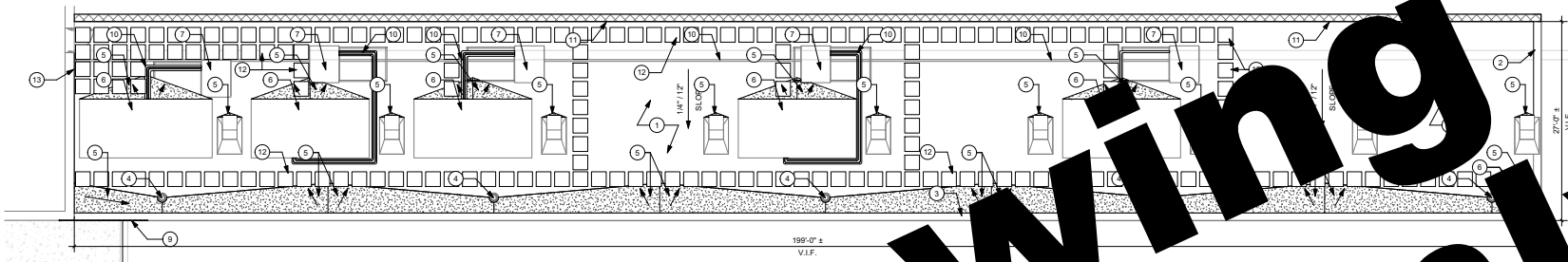


1 ROOF PLAN - DEMOLITION
 1/8" = 1'-0"

- GENERAL NOTES:
1. ALL ASBESTOS ABATEMENT SHALL BE PERFORMED BY A LICENSED CONTRACTOR. THIS PROJECT IS NOT AN ASBESTOS ABATEMENT PROJECT. THE CONTRACTOR SHALL VERIFY THE LOCATION AND EXTENT OF ALL ASBESTOS CONTAMINATION PRIOR TO COMMENCEMENT OF ANY ON-SITE ACTIVITIES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF CONDITIONS ARE NOT AS INDICATED OR NOTED IN THESE DOCUMENTS.
 2. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS AND VALLEYS LEADING TO ROOF DRAINS WITH NO PONDING.
 3. ALL ROOF DECKS SHALL PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS AND VALLEYS LEADING TO ROOF DRAINS WITH NO PONDING.
 4. AT FLAT ROOF DECKS PROVIDE TAPERED INSULATION TO DIRECT STORMWATER TOWARD ROOF DRAINS AND VALLEYS LEADING TO ROOF DRAINS.
 5. USE TAPERED INSULATION TO DIRECT STORMWATER AWAY FROM WALLS AND PARAPET WALLS AND TO A VALLEY A MINIMUM OF 4'-0" FROM WALL.
 6. USE TAPERED INSULATION TO CREATE CRICKETS AT ROOF PENETRATIONS, CHIMNEYS, ROOF CURBS, ETC.
 7. VALLEYS SHALL BE DEAD FLAT BETWEEN ROOF DRAINS SO THAT NO PONDING OCCURS.

DEMOLITION ROOF KEYNOTES	
NOTE NUMBER	DESCRIPTION
1	REMOVE EXISTING BALLAST, MEMBRANE ROOFING AND RIGID INSULATION.
2	REMOVE AND REPLACE METAL COPING/FASCIA.
3	REMOVE AND REPLACE METAL GRAVEL STOP COPING/FASCIA.
4	EXISTING ROOF DRAIN TO REMAIN.
5	REMOVE EXISTING ROOF DRAIN. CAP EXISTING DRAIN LEADER PIPING.
6	EXISTING ROOF MOUNTED EQUIPMENT TO REMAIN. PREPARE COUNTER FLASHING FOR NEW FLASHING.
7	EXISTING ROOF EQUIPMENT ON DUNNAGE TO REMAIN.
8	REMOVE EXISTING SATELLITE DISH.
9	REMOVE CHAIN LINK FENCE.
10	EXISTING PIPING TO REMAIN. REMOVE THE PIPING SUPPORTS.
11	PREPARE EXISTING COUNTER FLASHING FOR NEW FLASHING. REMOVE EPDM ROOFING, AND INSULATION ENTIRE LENGTH OF EXISTING WALL.
12	REMOVE EXISTING WALKWAY PADS.
13	EXISTING THRU WALL PIPE TO REMAIN.



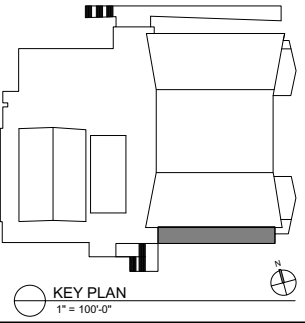


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1 ROOF PLAN - PROPOSED
A1.01 1/8" = 1'-0"

- GENERAL NOTES:**
1. ALL ROOF DECKS SHALL PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS AND VALLEYS LEADING TO ROOF DRAINS WITH NO PONDING.
 2. ALL ROOF DECKS SHALL PROVIDE A COMBINATION OF FLAT INSULATION AND TAPERED INSULATION AS REQUIRED TO DIRECT STORMWATER TOWARD ROOF DRAINS AND VALLEYS LEADING TO ROOF DRAINS.
 3. AT FLAT ROOF DECKS PROVIDE TAPERED INSULATION TO DIRECT STORMWATER TOWARD ROOF DRAINS AND VALLEYS LEADING TO ROOF DRAINS.
 4. USE TAPERED INSULATION TO DIRECT STORMWATER AWAY FROM WALLS AND PARAPET WALLS AND TO A VALLEY A MINIMUM OF 4'-0" FROM WALL.
 5. USE TAPERED INSULATION TO CREATE CRICKETS AT ROOF PENETRATIONS, CHIMNEYS, ROOF CURBS, ETC.
 6. VALLEYS SHALL BE DEAD FLAT BETWEEN ROOF DRAINS SO THAT NO PONDING OCCURS.
 7. PROVIDE NEW WALKWAY PADS TO MEET ROOFING MFR STANDARDS FOR COMPLIANCE WITH ROOF WARRANTY.
 8. PROVIDE NEW CHAIN LINK FENCE.
 9. PROVIDE NEW METAL GRVEL STOP COPING/FASCIA.
 10. PROVIDE NEW METAL COPING/FASCIA.
 11. PROVIDE NEW EPDM ROOF ASSEMBLY. REPLACE METAL DECK AS REQUIRED.
 12. PROVIDE NEW TAPERED INSULATION CRICKET.
 13. PROVIDE NEW RETROFIT ROOF DRAIN INSERT.
 14. EXISTING ROOF DRAIN TO REMAIN. PROVIDE NEW FLASHING TO RUN UP AND UNDER EXISTING MECHANICAL APRON FLASHING. SEAL ALL.
 15. EXISTING ROOF EQUIPMENT ON DUNNAGE TO REMAIN.
 16. EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
 17. EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
 18. EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
 19. EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
 20. EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.

PROPOSED KEY NOTES	
NOTE NUMBER	DESCRIPTION
1	PROVIDE NEW EPDM ROOF ASSEMBLY. REPLACE METAL DECK AS REQUIRED.
2	PROVIDE NEW METAL COPING/FASCIA.
3	PROVIDE NEW METAL GRVEL STOP COPING/FASCIA.
4	EXISTING ROOF DRAIN TO REMAIN. PROVIDE NEW RETROFIT ROOF DRAIN INSERT.
5	NEW TAPERED INSULATION CRICKET.
6	EXISTING ROOF EQUIPMENT TO REMAIN. PROVIDE NEW FLASHING TO RUN UP AND UNDER EXISTING MECHANICAL APRON FLASHING. SEAL ALL.
7	EXISTING ROOF EQUIPMENT ON DUNNAGE TO REMAIN.
8	PROVIDE NEW CHAIN LINK FENCE.
9	PROVIDE NEW METAL GRVEL STOP COPING/FASCIA.
10	PROVIDE NEW METAL COPING/FASCIA.
11	EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
12	EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
13	EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
14	EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
15	EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
16	EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
17	EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
18	EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
19	EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.
20	EXISTING THROUGH WALL PIPES TO REMAIN. SEAL/ANT WALL PENETRATION.



PRELIMINARY

NO.	REV.	DATE	DESCRIPTION

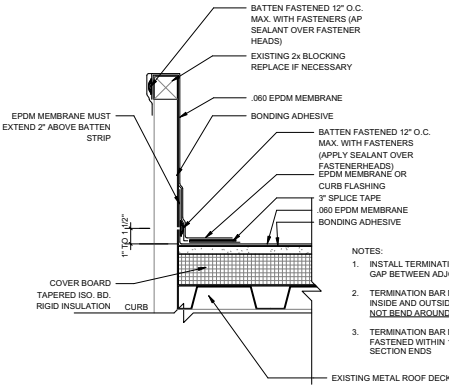
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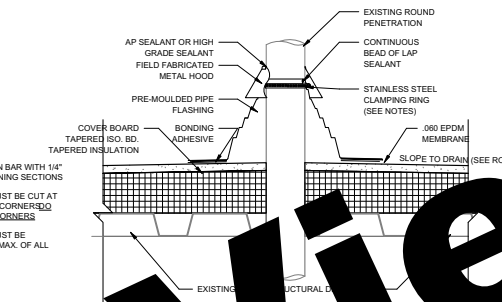
ISSUE NO: 1

SCALE: 1" = 100'-0"

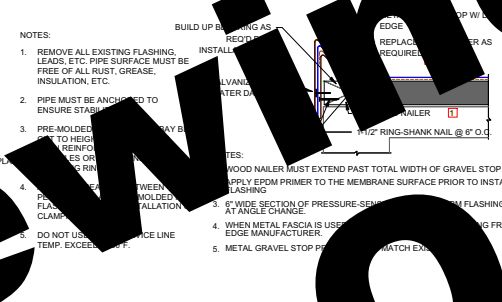
A1.01



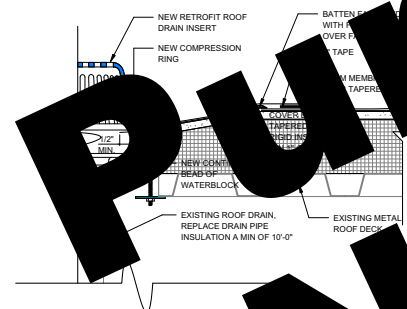
1 ROOF DETAIL - CURB DETAIL
A1.02 3" = 1'-0"



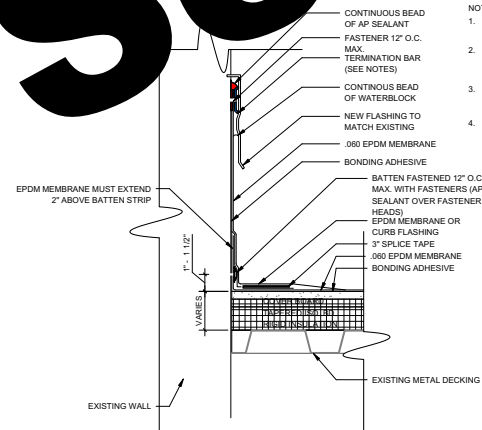
2 ROOF DETAIL - EPDM ROOF
A1.02 3" = 1'-0"



3 ROOF DETAIL - GRAVEL STOP DETAIL
A1.02 3" = 1'-0"



4 ROOF DETAIL - DRAIN DETAIL
A1.02 3" = 1'-0"



5 ROOF DETAIL - EPDM WALL DETAIL
A1.02 3" = 1'-0"

For Viewing Only
Purpose Not to Scale

PRELIMINARY

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ROOF DETAILS

SHEET NO. A1.02